



**City of Thornton**  
**9500 Civic Center Drive**  
**Thornton, CO 80229**

CITY DEVELOPMENT DEPARTMENT

(303) 538-7295

FAX (303) 538-7373

## **MINOR DEVELOPMENT PERMIT CHECKLIST**

(Any submittal may require additional items)

### **APPLICATION REQUIREMENTS:**

**All applications must contain the following information in the format described. Applications will not be accepted if any of these items are missing or are incomplete.**

- Completed Minor Development Permit Application signed by Property Owner.
- Application Fee - refer to checkboxes on application form
- Letter of Intent - Detailing Proposed Work.
- Building elevation drawings – 5 sets drawn to scale, 8 ½" x 11" minimum (with only one elevation drawing per sheet if the minimum sheet size is used).
  - Drawings must show all exterior surfaces indicating the type and color of materials to be used on all proposed structures.
  - Drawings should include notes for required design elements (4" trim, etc).
  - Drawings must show all options to the standard plan (if applicable) that will change the exterior appearance of the structure. These options (such as a three-car garage, a walk-out basement, or window changes) can be dashed in on the elevation.
  - Elevations should be labeled: Front, Side, Garage Side, Street Side, or Rear.
  - All notes for each elevation should be legible and at least 12 point font.
  - Height should be shown on the front elevation.
- Site plan – 5 sets drawn to scale, 8 ½" x 11" minimum.
  - Existing and/or proposed structure(s), including decks, patios, cantilevers, etc.
  - Property lines
  - Building setbacks (dimensions from the building, including cantilevers and decks, to all four property lines)
  - Dimensions between structures
  - Drive-way location
  - Existing easements
  - North Arrow
  - Written and graphic scale

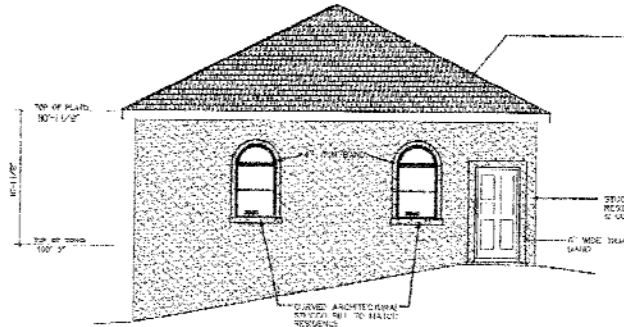
- Samples or illustrations of all colors and major materials to be used – 1 set mounted on a (minimum) of 8 ½" x 11" or a (maximum) of 12" x 24" format (or) color pictures of existing buildings with the proposed materials and colors (all photographic materials must be accurate representation of the colors and materials used.) All materials and color palate selections should be on one sample board. See staff for details or questions.

**Please do not submit actual full size samples, binders or notebooks. Submissions exceeding the maximum size will not be processed.**

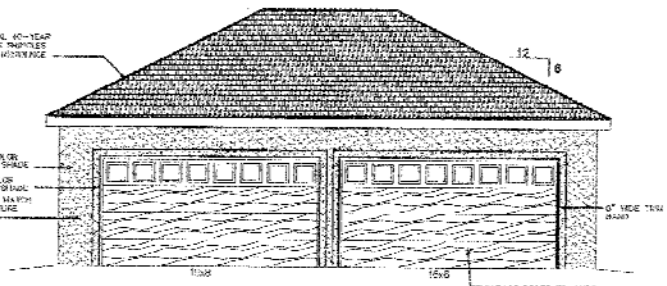
**\*This is a general list of requirements. Some projects may require that more/less information be submitted.**

1. The application and all graphics will be reviewed. (Additional materials may be requested upon review of submittal.)
2. Please **do not** staple any of the drawings together.
3. If there is a Homeowners' Association with an architectural review process in the neighborhood where your project is proposed, you must submit a letter indicating their approval of the project before we will process a Minor Development Permit.
4. You may submit your construction drawings to the Building Inspection Division for their review concurrently with the Minor Development Permit review.
5. These requirements are set to make the review easier and faster for Staff; deviation from the above will make the review harder to process and may result in longer review times.

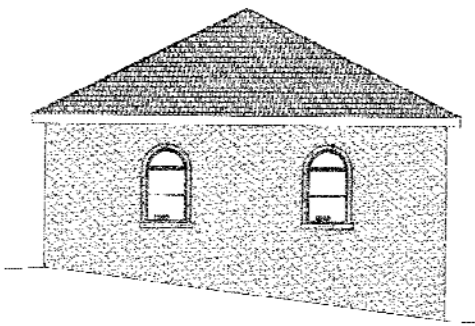




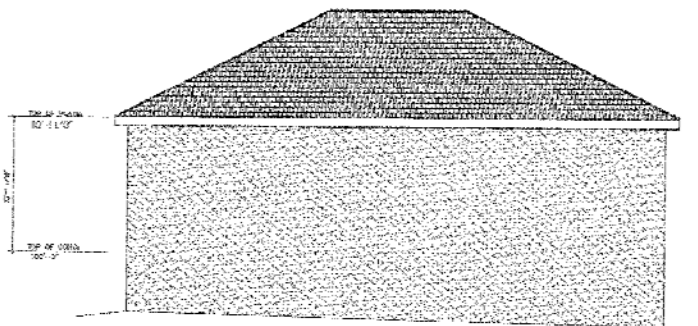
**SOUTH ELEVATION**  
1/4" = 1'-0"



**EAST ELEVATION**  
1/4" = 1'-0"



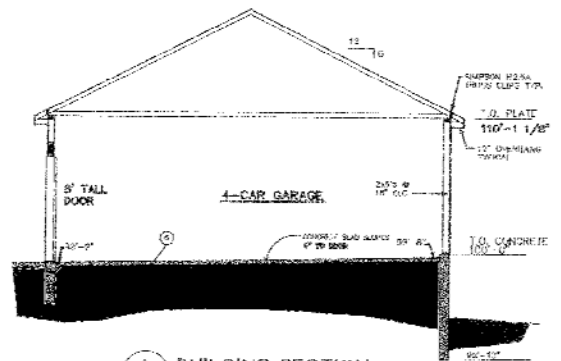
**NORTH ELEVATION**  
1/4" = 1'-0"



**WEST ELEVATION**  
1/4" = 1'-0"

- ELEVATION NOTES**
1. UNADORNED STAIRS  
UNADORNED STAIRS AND UNADORNED  
LANDING SHALL BE CONSIDERED TO BE  
UNFINISHED. ALL FINISHES TO BE  
AS SHOWN. ALL FINISHES TO BE  
AS SHOWN. ALL FINISHES TO BE  
AS SHOWN.
  2. ROOFING (120-12-41-101)  
UNADORNED. SEE SPECIFICATIONS FOR  
DETAILS. ALL FINISHES TO BE  
AS SHOWN. ALL FINISHES TO BE  
AS SHOWN.
  3. OUTLETS & DOWNSPOUTS  
INSTALL 3 OUTLETS & DOWNSPOUTS AT ALL  
LEVELS AS SHOWN. SEE SPECIFICATIONS  
FOR DETAILS. ALL FINISHES TO BE  
AS SHOWN. ALL FINISHES TO BE  
AS SHOWN.

- SECTION NOTES**
- ALL DRAWING FOR 1/4"=1'-0" UNLESS NOTED
1. ROOF ASSEMBLY  
FRAMING: 2" x 12" UNFINISHED  
1/2" x 1/2" GIP (2" x 12" UNFINISHED)  
INSULATION: 2" x 12" UNFINISHED  
2" x 12" UNFINISHED  
2" x 12" UNFINISHED
  2. EXTERIOR WALLS  
2" x 12" UNFINISHED  
2" x 12" UNFINISHED  
2" x 12" UNFINISHED  
2" x 12" UNFINISHED
  3. SLAB  
AS SHOWN. SEE SPECIFICATIONS
  4. FOUNDATION  
AS SHOWN. SEE SPECIFICATIONS
  5. CONCRETE  
AS SHOWN. SEE SPECIFICATIONS
  6. FINISHES  
AS SHOWN. SEE SPECIFICATIONS



**A BUILDING SECTION**  
A2 1/4" = 1'-0"

**MICHAEL STROTT ARCHITECT**  
7800 ROBINSON WAY  
ARVADA, COLORADO 80004  
303-423-8472 (FAX) 303-423-0264



**A DETACHED GARAGE**  
**CASADY RESIDENCE**  
**3480 EAST 130th CIRCLE**  
**THORNTON, COLORADO**  
**G. M. SHELTER CONSTRUCTION**

OWNER: G. M. SHELTER  
CONTRACT NO.: GARAGED12008  
DRAWN: M.C.  
DATE: 01-30-08  
REV:

GM SHELTER  
**CASADY**  
DRAWING  
**A-2**  
SHEET 2 OF 3



APPLICATION FORM
CHECK TYPE OF REQUEST:

REVISED 02-05-09

Zoning

- Rezoning/Zoning Amendments \$580
Planned Development Zoning \$580, plus \$15/acre (round up to the next whole acre)
PD Zoning Amendment (Administrative) \$115

Subdivision Plat

- Subdivision Plat \$230, plus \$15/acre (round up to the next whole acre)
Subdivision Plat Amendment \$90

Comprehensive Plan Amendment

- Comp Plan Amendment \$350

Variance \$115

- Variance Request

Development Permit

- Development Permit \$580
Specific Use Permit (D.P. required) \$115
D.P. Amendment (DPAB\*\*) \$290
D.P. Amendment (Administrative) \$115

Other

- Minor Development Permit \$90
Limited Use Permit
Temporary Use Permit \$90
Vacation of Right-of-Way \$110

Conceptual Site Plan

- Conceptual Site Plan \$695

Appeal

- Staff Decision \$90
Exception to Code \$90

\*DEVELOPMENT PERMITS AND APPEALS BOARD (DPAB)\*

ONE APPLICATION FORM FOR EACH REQUEST OTHER THAN A SPECIFIC USE PERMIT WHICH REQUIRES A CONCURRENT DEVELOPMENT PERMIT
ALL PERTINENT INFORMATION ON THIS FORM MUST BE COMPLETED

Application Date:

Explain why you are making this application: (use additional sheets as appropriate)

Name of Applicant:

Fax Number:

Telephone:

E-mail Address:

Address:

City, State Zip:

Signature: Print Name:

The signature of the applicant, if they are the property owner, signifies that they will represent themselves in this request to the City. All communications will be sent to the applicant. If the applicant is not the property owner, the property owner information is needed and the property owner needs to sign this request. The signature of the property owner acknowledges their awareness of the request being made on their behalf and authorizes the identified applicant to represent the owner in the request being made to the City of Thornton.

Name of Land Owner (If the same as applicant-put "same"):

Fax Number:

Telephone:

E-mail Address:

Address:

City, State Zip:

Signature: Print Name:

Name of Land Owner (if different from above):

Fax Number:

Telephone:

E-mail Address:

Address:

City, State Zip:

Signature: Print Name:

NOTE - If there are more than two owners, a letter/letters containing their signatures must be attached to the application authorizing the applicant to act on behalf of the identified owner(s). (See Back 2)

Project Name: \_\_\_\_\_

General Location: \_\_\_\_\_ Address of property (if known): \_\_\_\_\_

Existing Subdivision: \_\_\_\_\_ Existing Zoning: \_\_\_\_\_

Existing Land Use(s) & Structures: \_\_\_\_\_

Proposed Land Use(s) & Structures: \_\_\_\_\_

Gross Area: \_\_\_\_\_ (square feet) \_\_\_\_\_ (acres) Proposed Zoning: \_\_\_\_\_

Township: \_\_\_\_\_ Range: \_\_\_\_\_ Section: \_\_\_\_\_ Adams County Parcel #: \_\_\_\_\_

Legal Description: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**AN ACTUAL ADDRESS OR PARCEL ID NUMBER IS REQUIRED.**

Additional page(s) may be added for full legal description to be included with application form

Do you have prairie dogs on your development site? Yes: \_\_\_\_\_ No: \_\_\_\_\_  
If you do, please refer to Ordinance 2628 (Prairie Dog Relocation). Your assigned case manager can also provide more information.

Are there any existing Developer's Agreements covering this property: Yes: \_\_\_\_\_ No: \_\_\_\_\_  
If YES, indicate agreement name: \_\_\_\_\_

NOTE - For applications regarding the subdivision of land, please enclose 2 copies of the current (within 30 days of application) title commitment.

NOTE - Attach a copy of any deed restrictions effective on this property.

Office Use Only:

Case Number: \_\_\_\_\_

Hansen Number: \_\_\_\_\_

Intake Review By: \_\_\_\_\_

Planner Assigned to Case: \_\_\_\_\_



# City of Thornton

---

City Hall  
9500 Civic Center Drive  
Thornton, Colorado 80229-4326

City Development Department  
303-538-7295  
FAX 303-538-7373  
[www.cityofthornton.net](http://www.cityofthornton.net)

## INTAKE PROCESS FOR NEW APPLICATIONS:

Effective Immediately (March 27, 2008)

- Staff will accept new complete submittals 8:00 a.m. to 5:00 p.m. Monday through Friday.
- If planning on paying with a credit card, please submit the application materials by 4:00 p.m. so we can process the card the day of the submittal.
- No incomplete applications will be held by staff. Applicants must take their incomplete packets with them and return with complete applications.
- Applicants will be given a written summary and verbal explanation of any deficiencies that need to be corrected.
- Using independent couriers to make formal submittals is at the Applicant's risk. Couriers need to be able to return incomplete submittals to the sender. If the courier refuses to wait for a sufficiency review or to return materials to the sender, the Applicant will be called to retrieve the items within a week or the materials will be recycled.

If you have any questions, please feel free to call the City Development Department at 303-538-7295.